

02 July 2025

Jai Reid
Manager City Development
Burwood Council
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Dear Jai,

Re: Burwood Place – Response to Request for Further Information

Gyde Consulting (Gyde) represents Burwood Tower Holdings Pty Ltd, the applicant for a modification application located at 42-60 Railway Parade, Burwood, also known as Burwood Place (Council Ref: DA10.2021.44.5).

This letter has been prepared in response to Council's Request for Further Information (RFI) dated 11 June 2025 and is accompanied by the following updated documentation:

- Appendix 1: Updated Architectural Plans prepared by Studio SC
- Appendix 2: Updated Landscape Plans prepared by Place Design Group
- Appendix 3: Lighting Plans prepared by NDY Light
- Appendix 4: Traffic Impact Assessment prepared by Road Delay Solutions
- Appendix 5: Mechanical Ventilation Statement prepared by Goldfish & Bay
- Appendix 6: Hawkers' Market Retail Strategy prepared by Holdmark
- Appendix 7: Plan of Management
- Appendix 8: BCA letter.

The modification application proposes a number of targeted design refinements. These include, but are not limited to:

- Structural changes, including a continuous core connecting the tower to the basement;
- Updates to service areas and the redistribution of 10,260 m² of Gross Floor Area (GFA);
- Introduction of new uses such as a hawker's market, basement retail, express escalators, and an additional level in Tower C;
- Replanning of residential levels, including refinements to floor-to-floor heights, improved apartment layouts (e.g., study nooks, island benches, bathtubs in three-bedroom apartments), and a revised unit mix;
- Relocation of amenities in Block 2 and an increase in childcare centre capacity; and
- Public domain changes include seating around raised planter boxes (previously sunken), level changes and new access points to the hawkers' market. Landscape planters have been added along the development's laneways, with circulation and access changes at the Clarendon Place and Railway Parade corner. An amended tree species schedule has also been provided, with planter adjustments proposed along Wynne Avenue and the site's western boundary with the Council site.

Additional detail, including Detailed Landscape (Appendix 2) and Lighting Plans (Appendix 3), has been provided with this response to assist Council in its assessment of the proposed modifications. These additional plans and details are provided to support Council's understanding and to illustrate how the detailed design aligns with the proposed amendments. We do not expect Council to approve these detailed

plans at this stage, as they remain subject to separate approval under the relevant conditions of consent. Only the amended plans, which identify changes through clouding in comparison to the approved plans, are submitted for approval as part of this modification.

Any further detail will be addressed in accordance with existing and proposed conditions of consent, including (but not limited to):

- Condition 13 – for detailed lighting considerations;
- Condition 20 – for final design of public domain works within Wynne Avenue, subject to Council's Traffic Committee endorsement;
- Condition 39 – for detailed landscape species, treatments, and maintenance requirements;
- Condition 41 – for the detailed design of the approved water feature;
- Conditions 45 & 129 – for erosion and sediment control measures;
- Condition 141 – for detailed public domain and landscape plans; and
- Condition 173 – electric charging requirements.

Where appropriate, additional conditions have been proposed or recommended to give Council comfort that outstanding matters will be addressed post-approval, through formal review and certification pathways. We note that while many of these matters are already required as part of post-approval documentation, some of the proposed changes, particularly in relation to the public domain, are now being presented conceptually, to assist Council in understanding the intent and rationale for the changes, with a clear commitment to provide further detailed design at the appropriate stage.

We acknowledge that while some additional elements are shown at a more detailed level, the development remains substantially the same as originally approved. The essence of the built form and public domain areas continues to align with the approved scheme. The design is evolving in response to operational efficiencies, constructability feedback, and coordination with the completion of existing consent conditions. This approach ensures the integrity of the design is upheld while supporting continued momentum in delivering this important town centre project.

We respectfully request that Council assess the proposed modifications on their merits and adopt the same staged assessment approach that was applied to the original DA. We also request that a determination date be scheduled with the State Planning Panel to enable the timely progress of this significant project.

A detailed response to Council's RFI is enclosed below.

Table 1 RFI Response

	Council Comment	Response
1.	Complete public domain plans and associated works with many of the ideas shown on photomontages only but not on drawings.	Photomontages have been updated to accurately reflect the current architectural and landscape plans. While the photomontages themselves are not to be stamped as approved documents, the architectural/landscape plans are, and the updates ensure consistency between these materials. It should be noted, however, that certain elements depicted in the photomontages, particularly within the public domain, remain subject to detailed design development. This includes matters governed by Condition 141, which requires the submission of detailed public domain and landscape plans, Condition 20, which required approval of the detailed design of Wynne Avenue and Condition 23, which requires a detailed Public Art Plan. As such, features such as public art installations, electronic display screens, design of Wynne Avenue and other public domain treatments shown in the photomontages are indicative/conceptual only and will be further refined through the relevant post-approval processes. Additionally, the photomontages have been updated to include annotations and clouding, to clearly demonstrate what in each photomontage has been amended when compared to the approved design (refer to the below example).

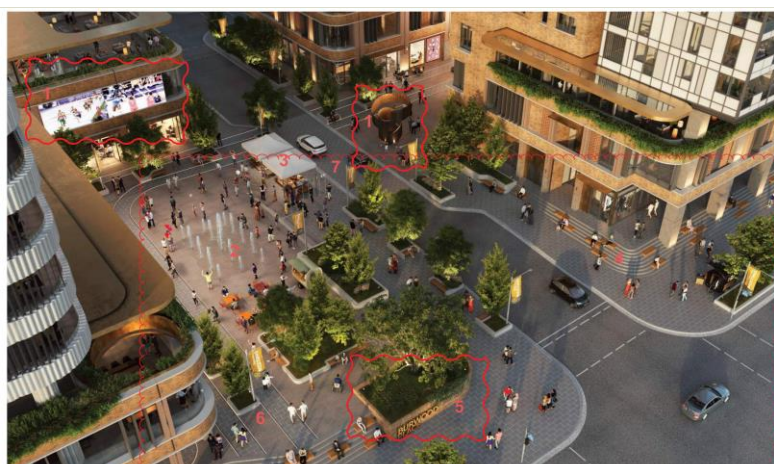


Figure 1 Extract of annotated and clouded photomontage (Source: Studio SC)

Principle 1 – Context and Neighbourhood Character

2. The Panel advised that additional, realistically angled visualisations and street sections are required to demonstrate how the development considers, responds to, and integrates with the surrounding urban fabric.	We note that the visual material supporting this modification application includes updated versions of the same photomontages and street sections that were approved as part of the original development application. No additional angles or new visualisations have been prepared, as the previously approved material, now updated to reflect the proposed changes, was deemed sufficient in demonstrating the development's response to the surrounding urban fabric.
3. The use of raised planters and stepped levels should reflect how people will perceive and move through the space, particularly in a retail and dining context such as Clarendon Place. The inclusion of casual seating on planter walls should also be explored to enhance activation, amenity, and utilisation	Detailed Landscape Plans have been provided by Placed Design Group and provided at Appendix 2. The proposed design for Clarendon Place (refer to below extract) and the connected laneway responds directly to the need for activation and amenity in a retail and dining context through the integration of raised planters that guide movement and provide natural edges for social interaction. Casual seating has been incorporated into planter walls using the Quatro Design integrated timber bench (Product Code: T4SLR), constructed with spotted gum to offer both durability and a high-quality finish. These benches, are strategically located along the length of Clarendon Place and the laneway to encourage informal gathering, rest, and increased utilisation of the public domain. This amendment is proposed under this modification, with further detail being able to be provided under condition 140 of the original development consent.

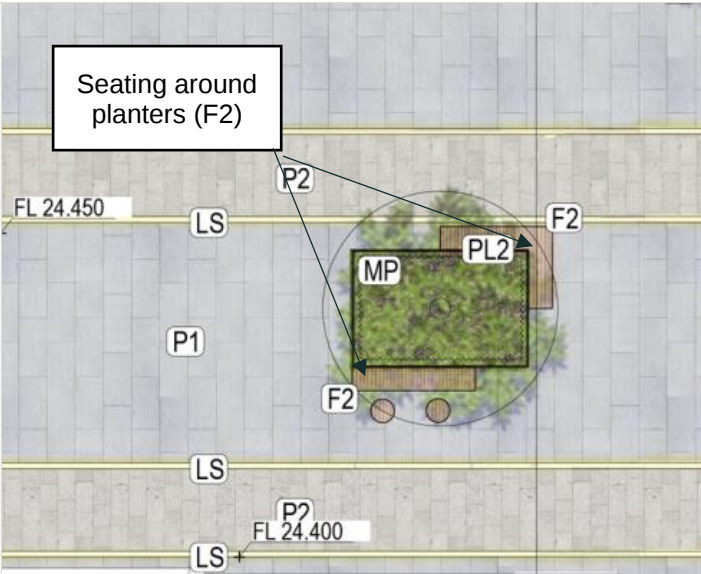


Figure 2 Planter seating (Source: Place Design Group)

4. Plans referencing the adjoining approved cultural centre/amphitheatre (adjacent to Tower A podium) are to be supported by site sections to confirm the relationship between the proposed and adjoining developments.

Studio SC have provided additional site plans and sections (refer to **Appendix 1**) showing the modified development's relationship with the neighbouring Council cultural development. It should be noted that these plans have been prepared using the latest designs for the Council development.

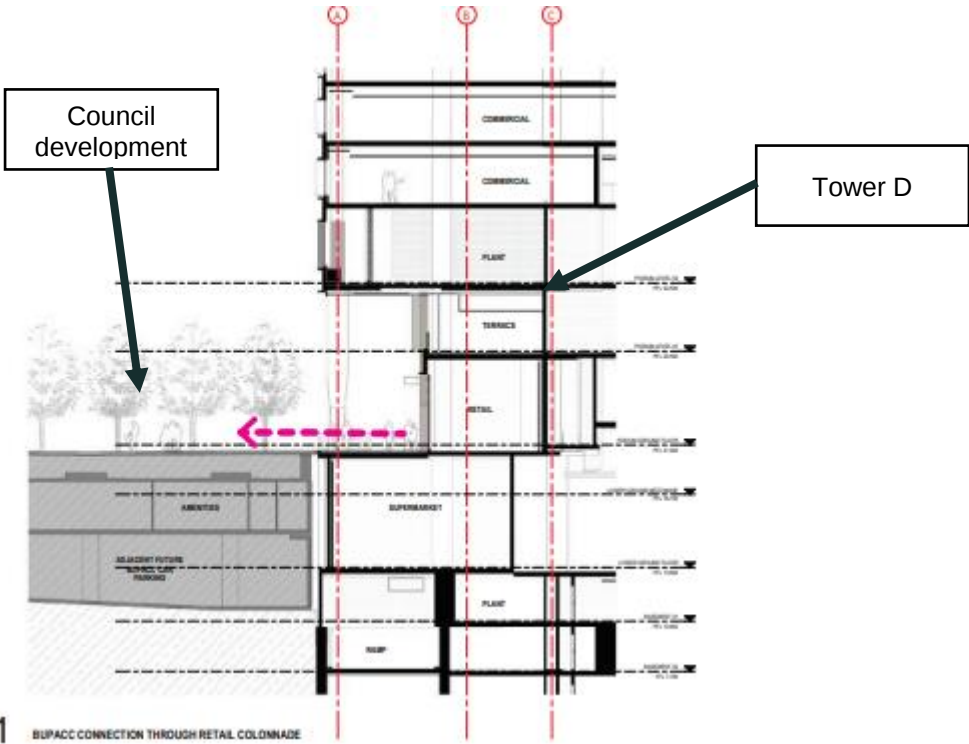


Figure 3 Section Extract of adjoining Council development (Source: Studio SC)

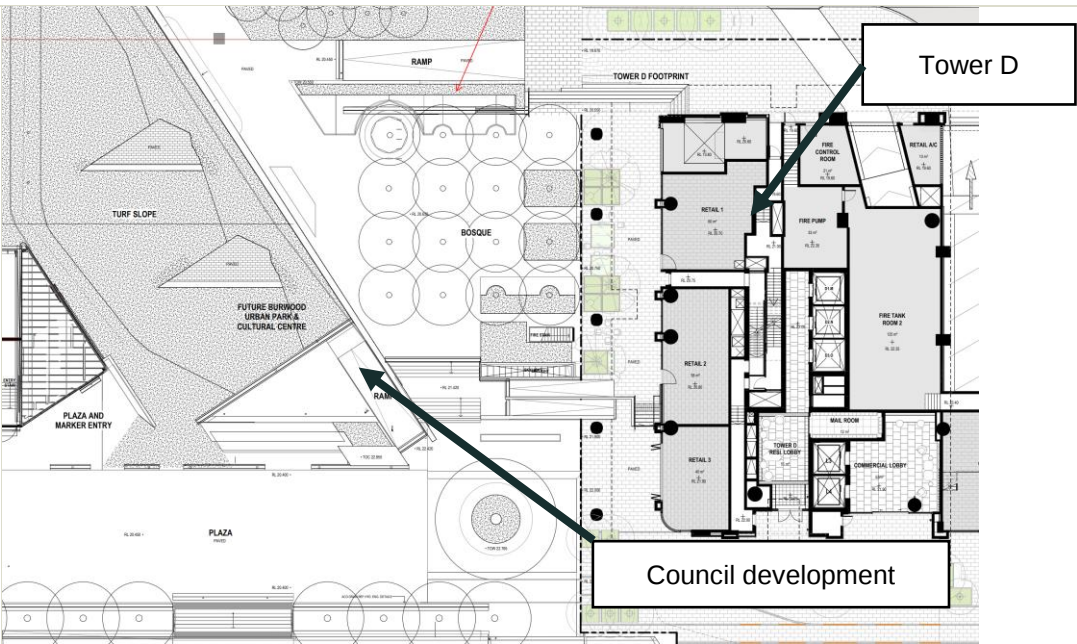
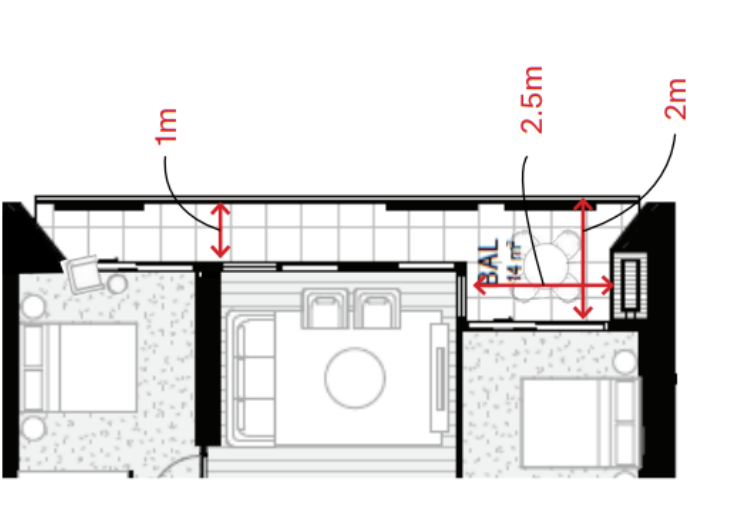


Figure 4 Ground Floor Plan (Source: Studio SC)

Principle 2 – Built Form and Scale

5. Further design exploration, resolution, and detailing are required in relation to the Hawkers Market. A generous, legible, attractive, and prominent entry statement is to be provided for pedestrians entering from Railway Parade. Consideration should also be given to including an exit escalator, in addition to an express entry escalator, to support effective circulation and connectivity with the ground-floor public domain.	Holdmark have provided a letter at Appendix 6, which justifies the proposed entry and exit strategy for the hawkers' market. In summary, a direct exit express escalator from the hawkers' market to the ground floor is not proposed for several reasons. Firstly, customers have direct entry into the Hawkers market via an express escalator from the street and can exit using dedicated lifts, providing sufficient vertical access. Secondly, from a retail planning perspective, guiding customer movement through the basement level (which includes the main supermarket) encourages foot traffic and supports the commercial viability of the lower retail tenancies. Introducing a direct exit could result in the basement retail being bypassed, placing pressure on its performance. Finally, the hawkers' market has been designed to meet all fire safety and accessibility requirements, including the provision of compliant emergency exits.
6. The Panel acknowledged the reduction and	The proposal provides a layered and inclusive approach to open space that balances private amenity with generous communal and public offerings, catering to a broad range of gathering types, demographics, and age groups. While some unit balconies have been

reconfiguration of unit balconies and supports this approach, noting the proposed provision of indoor and outdoor communal spaces in each tower. Further clarification is requested on how both private balconies and communal areas will accommodate a range of gathering types, demographics, and age groups.	reduced or reconfigured, they remain highly functional. For example, the below unit has a balcony ranging from 1 to 2.5 metres in depth, and are capable of supporting a variety of uses such as outdoor dining, relaxation, container gardening, or quiet retreat.  Figure 5 Furniture Layout (Source: Studio SC) As outlined in the Apartment Design Guide (ADG), the minimum balcony depth required to contribute to the overall private open space area is 1 metre. While the majority of proposed balconies comply with this standard, it is noted that 11 apartment types within Tower B have balconies with depths less than 1 metre. Despite this variation, these apartments generally feature larger internal floor areas and generously sized living rooms, ensuring a high level of residential amenity. In addition, all balconies are designed with safety in mind and will incorporate compliant balustrade treatments in accordance with NCC Clause D2.24. Communal open space provision is compliant and exceeds minimum requirements, with landscaped areas equivalent to 35.6% of the building footprint in Block 2 and 34.5% in Block 1. These spaces are provided across podium and rooftop levels and include a large, landscaped communal area on Level 4 with BBQs, alfresco seating, and lawn areas suitable for all age groups. Additional planted edges on Level 2 and rooftop landscaping (including 51.1% of Tower E’s roof area) offer further shared amenity. This is complemented by the creation of a new 4,913m² public plaza fronting Wynne Avenue, enhancing public domain activation and contributing to a highly accessible and socially inclusive living environment for residents and the broader community. Refer to the amended Studio SC package at Appendix 1.
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Principle 3 – Density

7. The proposed density is supported, contingent on significant improvements to the public domain offering.	Noted.
8. Clarification through diagrams is required to show	To address the requested clarification, a comprehensive set of circulation diagrams has prepared by Studio SC (Appendix 1), specifically in response to the modified layout proposed under this S4.55 application. These diagrams illustrate movement paths for key

	movement paths for different user groups, as well as proposed security provisions and circulation pinch points to mitigate impacts associated with increased density.	user groups, including residents, commercial tenants, retail patrons, service providers, and loading dock users, across all relevant levels of the development, from Basement 2 through to the podium and retail levels. The plans highlight clear circulation routes via lifts, escalators, stairs, and designated pedestrian pathways, while also indicating areas of controlled access, such as swipe card and intercom points at residential lobbies, and secure back-of-house zones for retail and servicing functions. Pinch points and potential areas of congestion have been identified and mitigated through the introduction of widened corridors, separation of public and service circulation, and provision of multiple vertical transport options to facilitate smooth flow across high-traffic areas such as the supermarket and hawkers' market. Security has been further integrated through the delineation of controlled access zones and visibility of fire egress routes, all in line with BCA and CPTED principles. The proposed design responds strongly to CPTED principles by embedding natural surveillance, access control, territorial reinforcement, and space management throughout the modified layout. Clear sightlines across key public areas, including retail through site links, laneways, and plazas, support natural surveillance, with active frontages and glazed facades enhancing visibility and passive monitoring. Access control is provided through defined entry points, secure lobby access via intercom and swipe systems, and separation of residential and service areas. Territorial reinforcement is achieved through a legible hierarchy of spaces, transitioning from public plazas to semi-private retail links and private residential areas, using consistent materials, planting, and signage to communicate ownership and function. The layout also facilitates effective space management, with maintenance access, waste collection, and back-of-house services located discreetly to support ongoing cleanliness, safety, and usability of public areas. These CPTED measures collectively enhance safety, reduce opportunities for anti-social behaviour, and promote a sense of community ownership and amenity. It is important to note that these diagrams address the circulation and access strategy for the areas subject to the proposed modification only. Key aspects of the development that are not subject to change under this modification, such as the previously approved circulation framework for the upper residential towers and associated communal areas, remain as per the original development consent and have not been amended.
Principle 4 – Sustainability		
9.	The Panel expects the inclusion of ceiling fans in all bedrooms and living areas as a low-energy alternative or supplement to mechanical air-conditioning systems. These details should be reflected in the revised architectural drawings.	We note that air conditioning units have already been incorporated into the stamped approved BASIX Certificate. These sustainability measures are enforceable under the original development consent and form part of the certified commitments for the development. Importantly, the proposed air conditioning systems typically include a fan-only setting, which allows for air circulation without active cooling. This function provides the same low-energy benefit as a ceiling fan, offering residents a cost-effective and energy-efficient ventilation option during milder weather. The BASIX assessment confirms that the systems satisfy thermal comfort requirements without the need for additional ceiling fans. Introducing ceiling fans would duplicate functionality already provided by the approved systems, adding unnecessary installation and maintenance costs for future residents without improving overall sustainability performance. Accordingly, no further changes to the architectural drawings are considered necessary, and the proposal remains fully consistent with the approved sustainability commitments.
10.	Rainwater tanks should be included	We note that the proposal is consistent with the commitments outlined in the original BASIX Certificate, which includes rainwater reuse provisions. Implementation of these BASIX

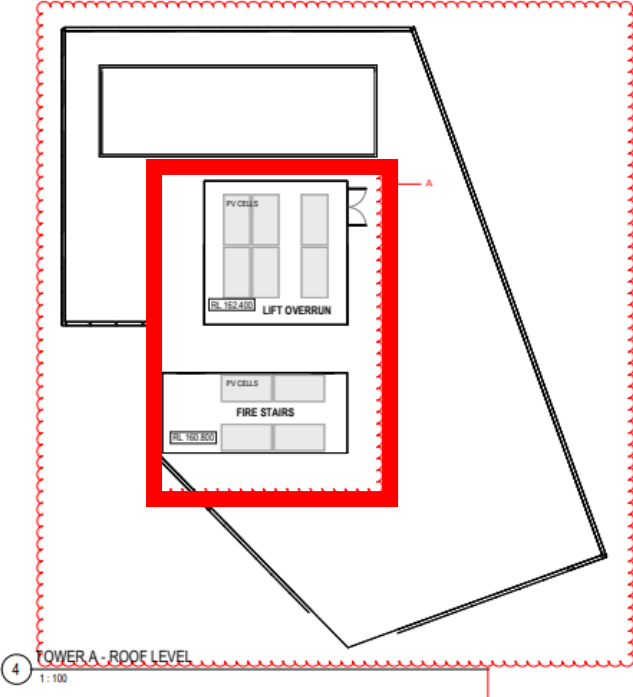
	for collection, storage, and reuse (e.g. landscape irrigation).	measures is secured via the original development consent. No changes to the stormwater arrangements are proposed, and the existing BASIX commitments, covering water collection and reuse, remain applicable.
11.	Revised plans must clearly show the proposed roof-level photovoltaic system in both 2D and 3D formats.	The photovoltaic system is already shown on the submitted architectural plans, as shown in the below extracts, highlighted in red.  The diagram is a 2D architectural plan of a rooftop, labeled 'TOWER A - ROOF LEVEL' with a scale of '1:100'. It shows the layout of the roof with various functional areas. A red dashed line outlines the entire roof area. Within this, a red solid rectangle highlights two specific sections. The upper section is labeled 'PV CELLS' and 'LIFT OVERRUN' with a level marker 'RL 152.400'. The lower section is labeled 'PV CELLS' and 'FIRE STAIRS' with a level marker 'RL 150.800'. A red letter 'A' is positioned to the right of the upper section. A small circle with the number '4' is located at the bottom left of the plan.

Figure 6 Tower A Rooftop Plan (Source: Studio SC)

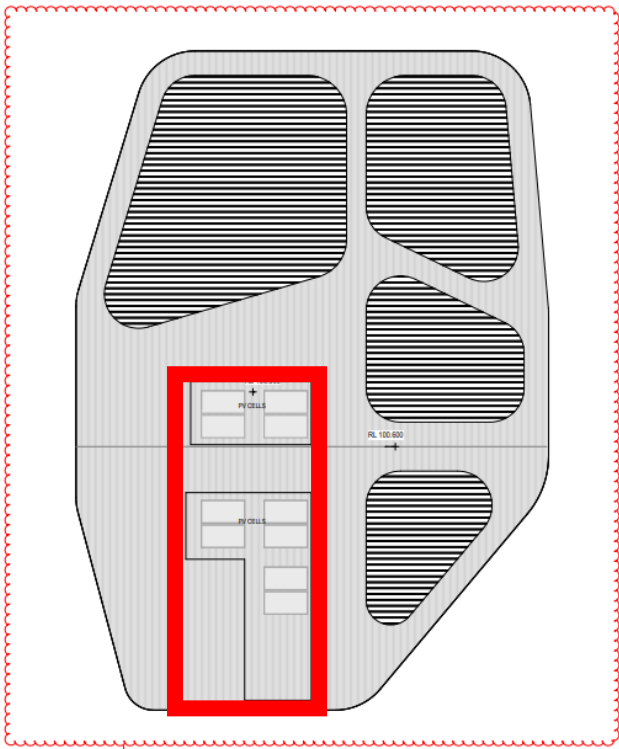


Figure 7 Tower B Rooftop (Source: Studio SC)

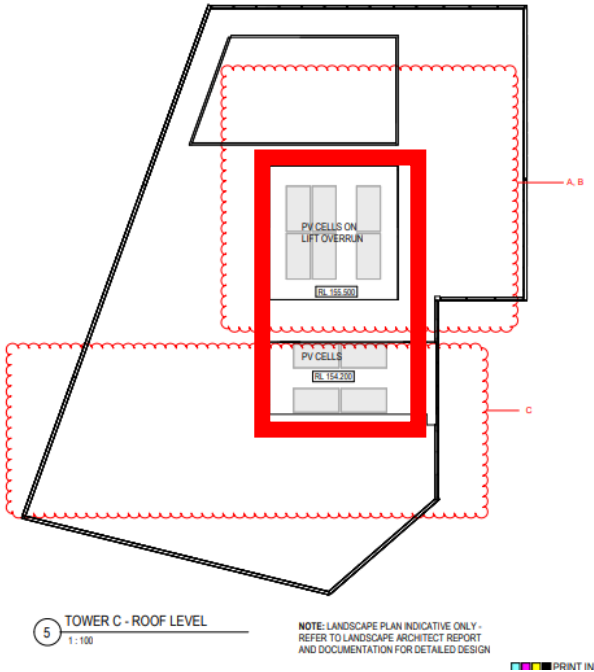


Figure 8 Tower C Rooftop (Source: Studio SC)

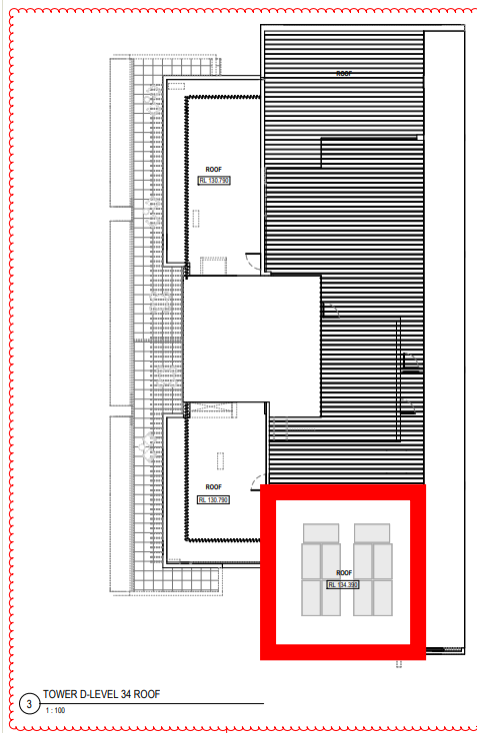
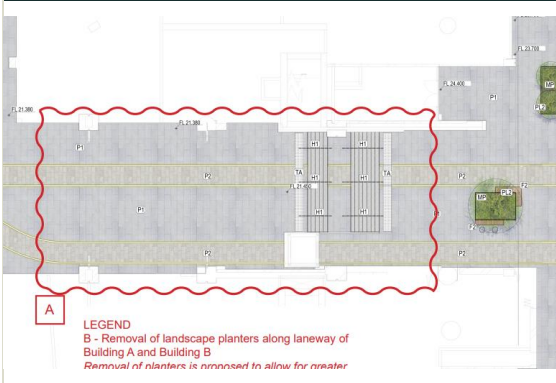
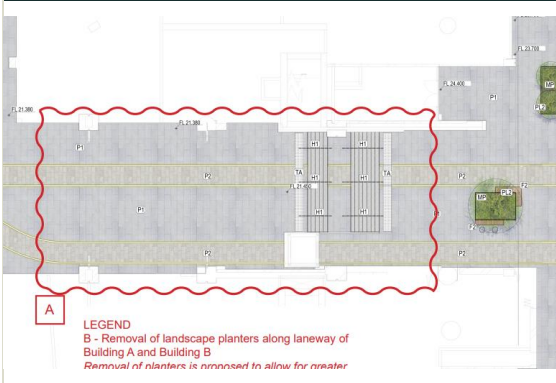
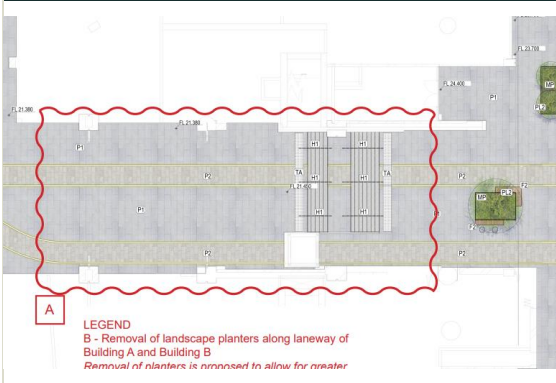


Figure 9 Tower D Rooftop (Source: Studio SC)

12. Full building electrification is encouraged, including electric vehicle charging points in the basement car park. No gas appliances should be included.	The residential component of the development is fully electrified, and Condition 173 of the development consent already requires the provision of electric vehicle (EV) charging infrastructure within the basement car park. Please refer to the extract of the condition below for reference. While the base building and residential areas do not include gas, the proposed hawkers' market may require gas for certain tenancies, particularly those involving food preparation. Any such installations will be subject to separate applications for fit-outs or individual tenancy approvals, ensuring that each is assessed on its specific operational requirements and compliance with relevant standards. <i>"173. Electric vehicle charging:</i> <i>a. Every residential car parking space (excluding visitor spaces) shall have the necessary cabling and associated infrastructure installed to enable an electric vehicle (EV) charger to be installed, if requested by owners/residents. Installation of the necessary cabling shall be verified by the Accredited Certifier, prior to the issuing of an Occupation Certificate.</i> <i>b. The proposed 14 EV spaces within the retail parking, as detailed in the Transport and Traffic Impact Assessment prepared by Road Delay Solutions (Rev 7.2 September 2022), shall be installed as fast charging EV spaces.</i> <i>c. Prior to the issue of the relevant Construction Certificate for the above ground works, the architectural plans must be modified, to the satisfaction of the Manager, City Development following consultation as appropriate with the Burwood Design Review Panel, to provide appropriate space and the necessary enhancements to the electrical substation infrastructure to enable the provision of EV chargers in accordance with (a) and (b) above."</i>
13. Consideration must be given to the embodied carbon	We note that no changes to the approved façade materials are proposed under this modification application. As such, the embodied carbon impacts remain consistent with the originally approved design and material specifications.

	associated with façade materials.					
Principle 5 – Landscape						
14.	The Panel does not support the reduction of landscaped areas within the laneway to accommodate potential future flexibility. A consistent and adaptable landscape treatment is required to support long-term retail activation and public use.	Refer to Detailed Landscape Plans prepared by Place Design Group (Appendix 2) and extract below. Increased soft landscaped areas have been reinstated within the development’s laneways to provide more usability for visitors with larger raised planters and additional integrated seating opportunities. <table><tr><th>Originally Proposed</th><th>Updated Proposed</th></tr><tr><td> LEGEND B - Removal of landscape planters along laneway of Building A and Building B <i>Removal of planters is necessary to allow for greater</i> </td><td> Additional landscape areas proposed </td></tr></table>	Originally Proposed	Updated Proposed	 LEGEND B - Removal of landscape planters along laneway of Building A and Building B <i>Removal of planters is necessary to allow for greater</i>	 Additional landscape areas proposed
Originally Proposed	Updated Proposed					
 LEGEND B - Removal of landscape planters along laneway of Building A and Building B <i>Removal of planters is necessary to allow for greater</i>	 Additional landscape areas proposed					
15.	Concerns are raised about on-slab planting and its long-term viability for tree health, urban canopy targets, and the overall building presentation. Raised planters must provide minimum soil depths with appropriate irrigation and drainage systems to sustain canopy species and ground cover.	Please refer to the Landscape Plans prepared by Placed Design Group (L00-AA961 & L00-AA962- PLANTER BOX DETAILS) at Appendix 2. The below extract of the planter box details address concerns about the long-term viability of on-slab planting by providing minimum soil depths of 1000 mm for canopy trees and 600 mm for groundcovers and shrubs, in line with best practice guidelines. Each planter incorporates an integrated system of drainage (including geotextile filter fabric, gravel drainage layer, and agricultural drains), waterproofing membranes, and root barriers to support healthy root development and protect the structural integrity of the building. Additionally, provision for automated drip irrigation ensures consistent moisture levels, while the use of AS 4419-compliant growing media further supports plant health. Together, these features ensure the planters can sustain healthy canopy growth over time, contributing meaningfully to urban greening targets and enhancing the building’s presentation.				

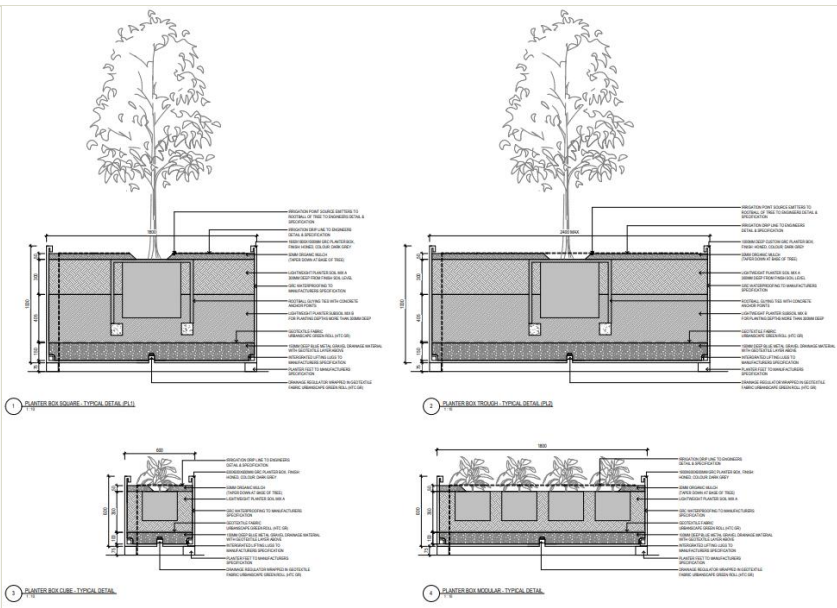


Figure 10 Planter box details (Source: Place Design Group)

16. Raised planter boxes are not an acceptable substitute for deep soil zones. Opportunities to increase deep soil planting across the site must be explored and adopted where possible.

In response to the Panel's comments regarding deep soil zones, we note that the site is subject to basement levels that extend across the entire site area. As such, no deep soil planting is proposed, nor was it included in the original development approval nor envisaged during the Planning Proposal process. This is demonstrated in the basement level extract below, which formed part of the original development approval. It shows that the basement was approved to extend across the entire site (boundary to boundary), meaning no deep soil areas were ever proposed or approved.

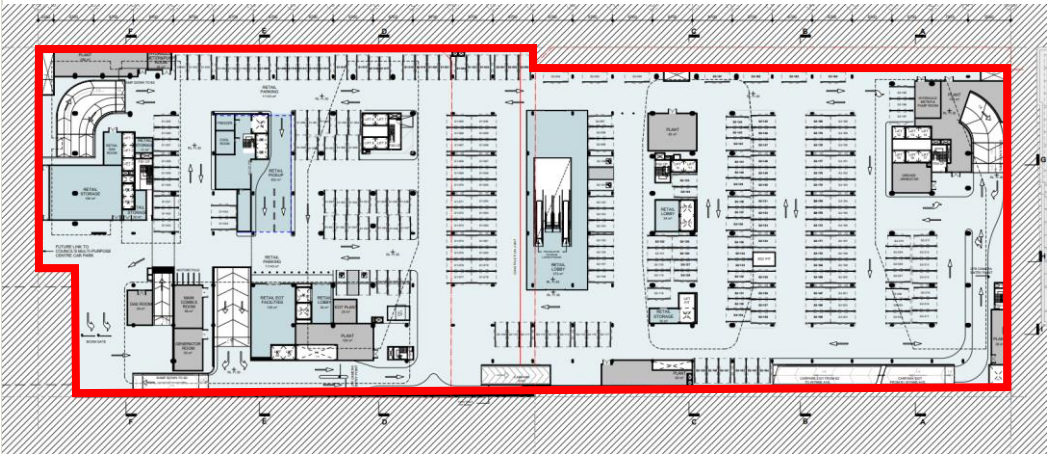


Figure 11 Approved Basement Level, development boundary highlighted in red (Source: Cox Architecture)

This approach is consistent with the Apartment Design Guide (ADG), which acknowledges that deep soil requirements may not be achievable on constrained sites, particularly in high-density urban areas or locations with 100% site coverage.

The site-specific Development Control Plan (DCP) further supports this approach by recognising the urban character of the site and explicitly referencing the applicability of the ADG in such contexts. As outlined in Section 3, Provision 17 of the DCP, deep soil planting in high-density developments may be offset by a reasonable amount of alternative landscaping, consistent with Objective 3E-1 of the ADG.

While this modification application proposes some changes to the configuration of landscaping, the overall quantum of landscaping remains consistent with the approved development and compliant with the DCP requirements. Additionally, the modification includes raised tree pits due to basement carpark set down and existing services.

Accordingly, the use of raised planter boxes and other on-structure landscaping treatments is considered appropriate for the site and aligned with the applicable planning controls.

17. The landscape package must include 1:20 scale design intent sections to show irrigation and drainage of upper-level planting. A strategy is also required for removal of green waste from planters on structures.

Please refer to the Landscape Plans prepared by Placed Design Group (L00-AA962-PLANTER BOX DETAILS) at **Appendix 2**.

The below extract section, scaled at 1:10 @ A1, provides the required level of design intent to demonstrate the irrigation and drainage provisions for upper-level planting (specifically along the podium levels). The detail clearly illustrates the inclusion of a geotextile-wrapped gravel drainage layer, agricultural drains, waterproofing membrane, and root barrier, ensuring effective water management and protection of the building structure. It also shows provision for automated drip irrigation to maintain consistent soil moisture.

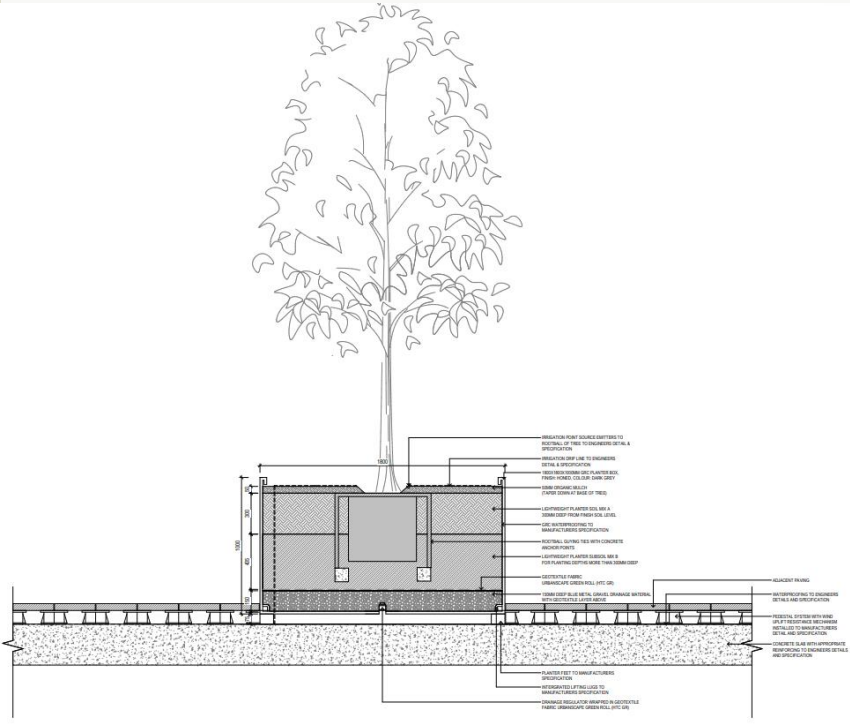


Figure 12 Podium Planting Details (Source: Place Design Group)

In terms of green waste, removal will be managed through regular landscape maintenance, with manual collection of organic debris and pruning waste from the planters, and transfer to designated waste storage areas off-structure. We are happy for this requirement to be a condition of consent, with example wording provided below:

Example wording:

“The removal of green waste from on-structure planters shall be managed through regular landscape maintenance. All organic debris, including pruning waste and leaf litter, must be manually collected and transferred to designated waste storage areas located off-structure. No green waste is to be stockpiled or disposed of within the planter areas or adjacent public domain. Evidence of an ongoing landscape maintenance contract that includes green waste management provisions must be submitted to the satisfaction of the Certifying Authority prior to the issue of the Occupation Certificate.”

18.	Further justification is required for how planter boxes can replicate the environmental benefits of deep soil areas. The loss of deep soil is a significant concern.	Refer to Item 16.
19.	While the LED pathway lighting strategy is supported, clarification must be provided regarding long-term maintenance and replacement. Lighting is not currently shown on plans. A comprehensive public domain strategy should be submitted, addressing maintenance, replacement, and repairs.	Preliminary lighting plans and strategy have been prepared by NDY Lighting and provided at Appendix 3. Also the lighting has been shown on the Detailed Landscape Plans prepared by Place Design Group and provided at Appendix 2. These additional plans and details are provided to support Council's understanding and satisfaction with the proposed amendments, noting that further construction certificate documentation will be submitted in accordance with the relevant conditions of consent. To address the Panel's request for clarity around long-term maintenance and replacement, we are willing to accept a condition of consent requiring submission of a Lighting Maintenance and Replacement Plan. This will ensure ongoing responsibility for public domain lighting is clearly defined and appropriately managed throughout the life of the development. Example wording below <i>Prior to the issue of a Construction Certificate, the applicant must submit a Lighting Maintenance and Replacement Plan for approval by the Certifying Authority. The plan must include:</i> • <i>A maintenance and inspection schedule to ensure lighting remains functional and safe;</i> • <i>Details of replacement procedures, including confirmation that fittings are durable, serviceable, and consistent with the approved lighting strategy;</i> • <i>Responsibilities for the ongoing maintenance, including any agreements with relevant public authorities or strata bodies where applicable.</i> <i>The plan must be consistent with the approved lighting strategy prepared by NDY Lighting dated 24 June 2025. Lighting must be installed and maintained in accordance with this plan for the life of the development.</i>
20.	A separate night-time lighting strategy must also be included in the landscape design.	
21.	Concerns remain regarding the maintenance and utility of small planter boxes at upper levels, particularly those in narrow or awkward balcony areas. These may not provide meaningful greenery or usable open space.	Concerns regarding the maintenance and utility of small planter boxes on upper levels, particularly in narrow or irregular balcony areas, are acknowledged. However, the use of upper-level planters has been intentionally integrated to assist in softening the building façade and contributing to the overall visual character of the elevation. These planters have been strategically located and dimensioned to balance aesthetic outcomes with practical maintenance considerations. All planter boxes have been designed with sufficient soil volume and depth to support low-maintenance vegetation, such as grasses and groundcovers. The sizing of these planters has been carefully controlled to ensure they are maintainable from a standing position within the balcony, thereby removing the need for specialised access equipment, anchor points, or manual handling risks. Their scale and placement are not intended to create usable private open space, but rather to enhance the quality of that space by introducing greenery and providing a softer edge to the architectural expression.

		This approach ensures that upper-level planters remain functional, maintainable, and meaningful within the broader landscape and built form strategy, without imposing unreasonable maintenance burdens on residents or building managers.
22.	A strategy should be developed to provide additional shade structures in the Plaza for sun protection during peak summer months.	We note that no changes to the approved Plaza area are proposed under this modification application. Aside from minor landscaping adjustments and the inclusion of escalators, which do not alter the functionality, usability, or shading of the space, the Plaza remains consistent with the originally approved design, which did not include permanent shade structures. As such, no further shading elements are proposed and therefore should not be a consideration of this application.
Principle 6 – Amenity		
23.	An Odour Impact Assessment and Ventilation Assessment must be submitted for the proposed basement Hawkers Place. Concerns remain regarding the potential for long-term odour accumulation	A letter from Goldfish & Bay has been provided at Appendix 5, to provide further detail on the proposed ventilation to the hawkers' market. The basement hawkers' market includes a mix of general retail, food and beverage, and mini major tenancies, with potential odour primarily arising from cooking activities. To manage this, commercial-grade kitchen exhaust systems with hoods, filters, and make-up air provisions are installed to capture odours directly at the source. Exhaust air is discharged at roof level, with more than 6 metres separation from site boundaries and ventilation openings, exceeding Australian Standards and minimising odour impact. The market is a fully enclosed, air-conditioned space, with temperature and CO₂ levels actively monitored. Filtered outside air is continuously supplied via fan coil units in retail tenancies and common areas, ensuring adequate ventilation and air quality through a consistent air change rate.
24.	A comprehensive management strategy is required for the operation of Hawkers Place, covering user experience, amenity, servicing, and CPTED (Crime Prevention Through Environmental Design) principles.	Refer to the Plan of Management at Appendix 7. Future Development Applications for individual tenancies within the hawkers' market will be required to operate and demonstrate consistent with the provisions of this Plan of Management.
Principle 7 – Safety		
25.	Balcony depths must be reviewed by a suitably qualified Certifier or NCC specialist. Balconies with depths under one metre may present climbability and fall risks.	Refer to BCA letter at Appendix 8 for further information.

26. If the water feature is intended for flexible use, all associated infrastructure must not present safety risks when repurposed for alternate uses.	In response to the Panel's comment regarding the water feature, we note that it has been reinserted at Council's request, with only minor locational adjustments. No changes are proposed to the approved design of the water feature. Condition 41 of the original consent (refer to below extract) already requires detailed design information to be submitted, including safety considerations. Any repurposing or flexible use of the feature will continue to be guided by this condition to ensure it does not present safety risks. <i>"41. Water feature:</i> <i>a. The water feature within Wynne Place is to be designed in accordance with all relevant Australian Standards, and such that water shall not become stagnant. Water quality must be of a standard appropriate for its use, in accordance with the ANZECC Guidelines for Fresh and Marine Water Quality and relevant Australian Standards.</i> <i>b. Details of the water feature construction are to be submitted to the Accredited Certifier for review and approval prior to the issue of the relevant Construction Certificate for the above ground works.</i> <i>c. Prior to the issue of the relevant Construction Certificate for the above ground works, a maintenance plan for the water feature is to be submitted to Council for approval. The maintenance plan must include proposed treatments for hardscape and water elements and must clearly address maintenance, operational and cost responsibilities for the feature between elements to be located on privately owned land and those to be located on publicly owned land. The maintenance plan shall be submitted for the approval of the Manager City Development.</i> <i>d. The approved maintenance plan must be complied with for as long as the water feature is in place."</i>
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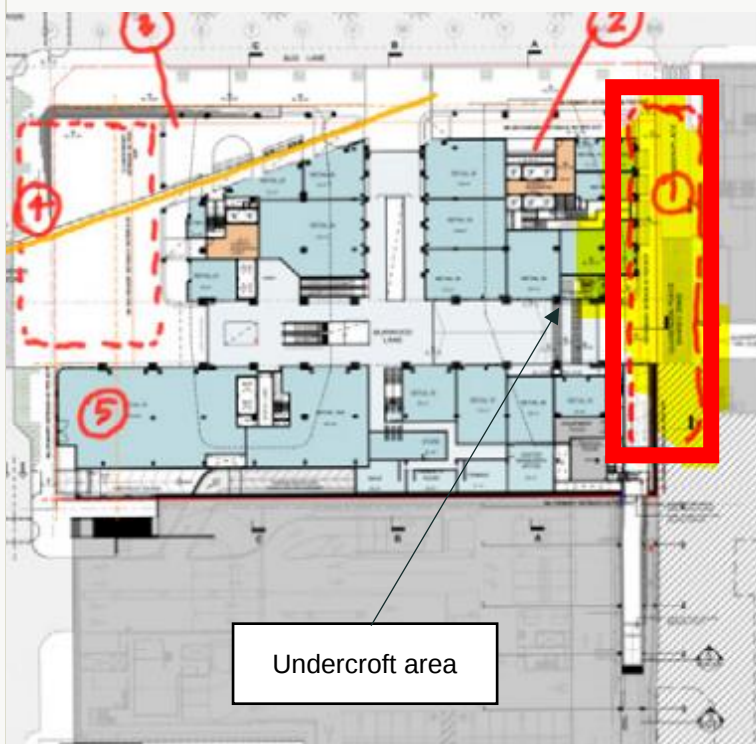
Principle 8 – Housing Diversity and Social Interaction

27. Revised architectural plans must confirm layouts of pre- and post-adaptation apartments. Adaptation must avoid structural or plumbing amendments.	Refer to Architectural Plans at Appendix 1 for pre- and post-adaptation apartments.
28. All adaptable balconies must provide wheelchair access, with supporting documentation in updated architectural drawings.	Refer to Architectural Plans at Appendix 1 for pre- and post-adaptation apartments.

Principle 9 – Aesthetics

29. The three undercroft areas along the laneway should be considered for suspended public art installations. A revised Public Art Strategy is required.

We note that no changes are proposed to the approved Public Art Strategy under this modification application. The existing strategy already contemplates artistic elements in these locations (refer to below figure), and Condition 23 of the development consent (refer to below extract) requires a detailed Public Art Plan to be submitted prior to the relevant Construction Certificate. This future submission will allow for further refinement of artwork placement, including consideration of suspended installations in the undercroft areas.



“23. Public Art:

Prior to the issue of the relevant Construction Certificate for above ground works, a Detailed Public Art Plan for the site must be prepared by an appropriately qualified art curator/advisor/coordinator. It must be approved by Council’s Manager City Development having regard to the Burwood Design Review Panel’s feedback. The Detailed Public Art Plan must be based on the Preliminary Public Art Strategy prepared by Barbara Flynn dated June 2022, and must incorporate the following:

- a. The provision of multiple art pieces across the development site;*
- b. The provision of public art within the development site, within the publicly accessible private land and publicly-accessible through site links. The applicant may also enter into a mutual agreement with Council to provide the public artwork on public land;*
- c. The provision of public art by a range of artists including indigenous, European and more recent migrants, with specific artists selected and a rationale for selecting those artists;*
- d. The proposed artworks, including their form, dimensions, materials, value, placement within the site, and timing for installation, and engineers’ drawings;*
- e. Ongoing management and maintenance requirements; and*
- f. Deaccessioning agreements.*

Public artwork must be installed to the Council’s satisfaction prior to the issue of the relevant Occupation Certificate”

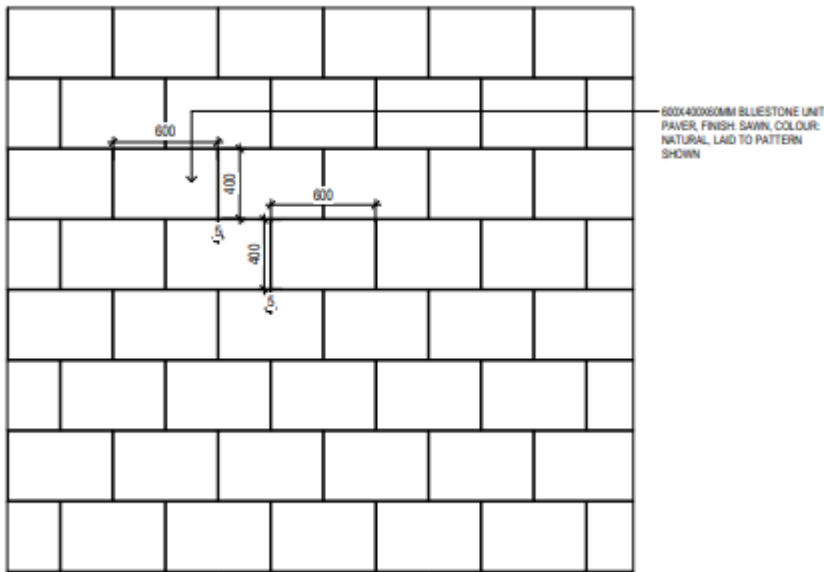
30. Any changes to external materials and finishes must be clearly documented and samples submitted for review. The Panel recommends retaining the high-quality architectural expression as previously approved.	We confirm that no changes are proposed to the approved materials or finishes under this modification application.
31. Raised planters and landscape elements must be fully integrated into the architectural design and contribute to street appeal.	The raised planters and landscape elements have been fully coordinated with the architectural design to ensure they are seamlessly integrated and contribute positively to the street appeal of the development. These elements have been designed in conjunction with the architectural package, with careful attention given to scale, placement, and alignment with key building features. The materials and finishes of the planters complement the building façades, reinforcing a cohesive and high-quality public domain interface. This integrated approach enhances visual continuity across the development, supports a consistent design language, and strengthens the overall presentation of the street frontage.
32. Developed architectural drawings must describe the intent of each primary façade type with 1:20 or 1:50 sections, elevations, and appropriate 3D representations.	Whilst detailed 1:20 or 1:50 sections, elevations, and 3D representations have not been provided at this stage, a comprehensive description of the proposed changes to each primary façade type is outlined below. The façade design across the Burwood Place development has been carefully maintained in line with the approved design intent, including the consistent use of materials, rhythm, and articulation. Where adjustments have been made, they are the result of detailed design development and coordination with structural, services, and tenancy planning. All changes are minor in nature, respectful of the original design, and fully clouded and annotated in the drawing set. Podium Façade Changes: • Ventilation Integration: Mechanical ventilation requirements for basement and retail tenancies have developed. Ventilation grilles at ground and podium levels have been introduced or repositioned to meet airflow and compliance needs. These have retained previous detail, maintaining consistency with the podium rhythm and material palette. • Mullion and Structural Alignment: Minor shifts in the location of structural columns and facade mullions were necessary due to structural grid optimisation. These changes have been resolved to retain visual alignment and consistency across façade bays. • RL Adjustments: Slight changes to slab RLs due to services coordination and construction methodology have led to subtle refinements in podium façade articulation. These do not alter the approved heights or massing but improve interface alignment and structural logic. • Retail Entry Additions (Stage 2): Additional doors have been incorporated along the retail frontage in Stage 2 to support tenant flexibility and meet operational needs. These have been integrated seamlessly into the original podium design strategy, respecting shopfront hierarchy and access rhythm. • Tower C Entry Relocation: The residential lobby for Tower C has been relocated from Railway Parade (north façade) to Wynn Avenue (east façade). This improves the interface with egress stairs and enhances the continuity of active retail frontage on

	Railway Parade, while also strengthening the residential address to the quieter street frontage. Tower Façade Changes and Rationale: • Façade Panel Adjustments: Internal planning refinements, particularly around apartment layouts and services zones, have required minor shifts in mullion lines and the proportioning of solid vs glazed panels. These changes preserve the towers' architectural rhythm and maintain the legibility of the vertical and horizontal articulation. • Condenser Plant Louvres (Towers A, C, D): Small louvred elements have been introduced to accommodate on-floor condenser plant rooms. These additions are minimal, integrated into the façade pattern, and match the adjoining materiality. Their placement is discreet and avoids disrupting key compositional features. • Balcony Adjustments: Minor adjustments to balcony configurations, including balustrade treatments and alignments, have been made to suit updated apartment planning and to improve internal amenity. These remain within the approved envelope and are designed to maintain the articulation strategy that breaks down tower massing. • Refinement of Tower Tops: The tops of Towers A and C have been modified to remove previously sharp or angular roof elements. This change results in a cleaner, more refined silhouette, improves the layout and daylight access of upper-level apartments, and enhances buildability. The revised forms are shown in elevation drawings, with previous outlines included for comparison. Design Integrity Maintained Across all changes, the design intent has been carefully preserved. The architectural expression continues to emphasise a legible podium-tower relationship, vertical articulation, and a cohesive material language. The façade amendments respond to the practical requirements of detailed design while enhancing buildability, tenant usability, and long-term performance. These refinements are part of the standard design evolution process and do not alter the approved building envelope or materiality. The architectural integrity, façade strategy, and urban response remain consistent with the endorsed design.
Traffic and Transport: The modification application proposes changes to Wynne Avenue. To support these changes and address relevant conditions of consent, the following information is required:	
33. A Traffic Impact Assessment (TIA) is required to justify the proposed road narrowing (from four lanes to a combination of two and three lanes) and confirm it will accommodate vehicle queuing for both development stages. This TIA will be forwarded to Transport for NSW for review.	No changes to the configuration of Wynne Avenue are proposed under this modification application. The reduction in the number of lanes, from four to a combination of two and three, was conceptually approved under the original development consent and remains unchanged. This arrangement was supported by Transport for NSW (TfNSW) both at the time of the original DA approval and again during the public exhibition of the current modification. In its letter dated 27 November 2024, TfNSW confirmed that the proposed modification is “unlikely to have a detrimental impact on the surrounding classified road network” and advised that it had no further comment. A Traffic Impact Assessment (TIA) was submitted and assessed as part of the original DA, addressing all relevant traffic and road network matters, including the configuration and queuing of Wynne Avenue. In accordance with discussions between Council’s traffic engineers and Holdmark, this TIA has since been updated (refer to Appendix 4) to reflect the 3 key future traffic scenarios for Burwood Place, including transitional and ultimate traffic volumes as delivery and retail access is progressively shifted and reconfigured via Emerald Square and Wynne Avenue. Given that no changes are proposed to the road layout in this modification application, a further standalone TIA is not considered necessary.

		Condition 20 of the consent requires that the Wynne Avenue public domain design, including the midblock crossing and associated pavement treatments, be resolved and endorsed by Council's Traffic Committee prior to the issue of the relevant Construction Certificate for above-ground works. This process is currently being undertaken between Council and Holdmark.
34.	Swept path analysis must be provided for the largest vehicles accessing properties on Wynne Avenue, including Woolworths and Burwood Grand loading docks. If Woolworths has agreed to the use of reduced delivery vehicle sizes until Stage 2 commences, written confirmation is required.	No changes are proposed to the approved access arrangements, vehicle circulation, or loading dock configurations for Wynne Avenue under this modification application. The existing design remains consistent with the previously endorsed plans, which were supported by detailed swept path analysis. Accordingly, no further vehicle access modelling or confirmation is required.
35.	Public domain plans must show street lighting details. Existing timber poles in Wynne Avenue are to be replaced with multi-function poles. Lighting design must be submitted for any new or relocated lighting.	The requirement to provide street lighting design details, including the replacement of existing timber poles with multi-function poles, was not part of the original development application, and no changes to street lighting are proposed under this Section 4.55 modification. As such, this matter falls outside the scope of the current application and should not be reconsidered. Street lighting requirements are already addressed through Condition 141(d) of the original consent, which states: <i>"The plan shall include all existing service authority assets on street frontage and in and around the areas as per the survey report. This should include, but not be limited to, high and low voltage electricity, water, stormwater, sewer, gas, telecommunications, street lighting and drainage assets, etc."</i> This condition requires the submission of street lighting details, along with other service authority assets, prior to the issue of the relevant Construction Certificate. Accordingly, the design and coordination of any new or relocated lighting will be addressed at that stage in consultation with the appropriate authorities. Separately, a Section 138 application has been lodged with Council for works within the public domain, including the public footpath and the Wynn Avenue reserve. The only outstanding item under that application relates to traffic and access, which is currently under review. It is important to note that the Section 4.55 modification does not apply to, nor seek to modify, works within the areas subject to the Section 138 process. These public domain elements fall outside the scope of this application and are being managed under the Roads Act in coordination with Council.
36.	No part of the road is to be built at the same level as the footpath. A raised	The matter of road and footpath levels is already addressed under Condition 20 (see below extract of condition) of the development consent, which requires the detailed design of the Wynne Avenue public domain, including midblock crossings, pavement treatments, and level transitions, to be resolved and endorsed by Council's Traffic Committee prior to the

	threshold is not appropriate where road and footpath levels are indistinct, as this poses safety concerns, particularly for visually impaired pedestrians.	issue of the relevant Construction Certificate for above ground works. Gyde understands that Holdmark is currently working with Council to action this item. While the updated photomontages, architectural drawings, and landscape plans illustrate modified works within the Wynne Avenue road reserve, these are conceptual in nature and intended to demonstrate design intent. Approval for any works within this road reserve remains subject to the requirements of Condition 20, ensuring that all detailed design matters, including safety and accessibility concerns related to level changes or threshold treatments, will be fully addressed through Council's post-approval review process. As such, only conceptual changes to the approved scope within Wynne Avenue are proposed, with further detail to be provided to Council later, in accordance with Condition 20 (refer to wording below). <i>20. Wynne Avenue public domain: Wynne Avenue public domain design, midblock crossing and associated pavement treatments are to be resolved and endorsed by Council's Traffic Committee prior to the issue of the relevant Construction Certificate for the above ground works.</i>
37.	Street trees must be set back at least 10 metres from traffic signals to maintain clear sightlines. Further setbacks may be required by Transport for NSW.	Planters have been positioned along the kerb line to ensure sightlines are maintained at driveway locations and crossing points. Transport for NSW reviewed the modification application and, in its letter dated 27 November 2024, confirmed that the proposed modification is "unlikely to have a detrimental impact on the surrounding classified road network" and raised no objections. Notwithstanding, we are happy to accept a condition of consent (refer to below example wording) confirming that final street tree placement must maintain appropriate setbacks from traffic signals to ensure clear sightlines, to the satisfaction of the relevant authority if required. Example wording: <i>"Street trees must be set back in accordance with Transport for NSW's requirements."</i>
38.	Kerb ramp details at traffic signals must comply with TfNSW technical standards.	Kerb ramp locations and arrangements at traffic signals remain unchanged from those approved under the original DA. These were previously reviewed by Transport for NSW, who raised no objections to the modification in their letter dated 27 November 2024, stating that the proposal is "unlikely to have a detrimental impact on the surrounding classified road network." Nonetheless, we are happy to accept a condition of consent confirming that all kerb ramps at signalised intersections must be designed and constructed in accordance with TfNSW technical standards, to the satisfaction of the relevant authority. Example wording: <i>"Prior to the issue of a Construction Certificate, the Applicant must provide detailed design plans demonstrating that all kerb ramps at signalised intersections comply with the relevant Transport for NSW (TfNSW) technical standards and requirements."</i>
Public Domain		
The submitted public domain plans are inconsistent with Condition 141 of the development consent, which requires:		
39.	Public domain works to be undertaken at the applicant's cost across all street frontages (Railway Parade, Wynne Avenue, Clarendon Place, Unity Place,	Detailed Landscape Plans have been prepared by Placed Design Group at Appendix 2, which are scaled at 1:100 and provide additional detail, including levels, ground floor lighting, street furniture, tree species, bollards, paving and proposed locations for public artworks. These additional plans and details are provided to support Council's understanding and satisfaction with the proposed amendments, noting that further construction certificate documentation will be submitted in accordance with the relevant conditions of consent.

	and Belmore Street), in accordance with Council's DCP and Public Works Manual.	These public domain modifications remain subject to Condition 141 of the development consent, which governs the preparation of detailed construction-compatible plans. While Condition 141 requires these matters to be resolved prior to the issue of the relevant Construction Certificate, not at the Development Application or modification stage, we recognise Council's interest in ensuring alignment between concept and detail.
40.	Detailed 1:100 scale construction-compatible public domain plans certified by a qualified civil engineer, landscape architect, or urban designer, to be submitted and approved by Council prior to issuing a Construction Certificate.	Should Council consider it appropriate, we would be willing to accept a modified wording of Condition 141 (refer to below amended wording) to clarify that while Council has considered the additional detailed plans provided, with final detailed design and approval will occur post-consent, consistent with Condition 141. The proposed amended wording to condition 141 has been provided below (with highlights amended in bold). 141. Public Domain Conditions <i>a) Extensive public domain improvement shall be undertaken and completed at the applicant's cost encompassing entire street frontages on Railway Parade, Wynne Avenue, Clarendon Place, Unity Place and Belmore Street (only to the extent where the development fronts the relevant space). Public domain plans shall be prepared with reference to Burwood Council DCP and Public Works Element Manual.</i> <i>b) Detailed public domain plans shall be prepared that extend to all frontages or works on Council land. They must be drawn at 1:100 scale, be construction-compatible (e.g. suitable for quantity surveying, tendering, supervision and quality control), and shall be prepared and certified by a qualified civil engineer, landscape architect or urban designer. These plans shall be submitted to and approved by Council prior to the issue of the relevant Construction Certificate.</i>
41.	Plans must include sectional details and specifications, with cross-sectional views at 5-metre intervals and at all critical infrastructure points, covering all features from the road centreline to the property boundary	b1) The detailed public domain plans to be submitted under this condition must be generally consistent with the Landscape Plans prepared by Place Design Group dated 30 June 2025 and shall not result in material changes to the built form, use, or functionality of the public domain elements as considered under DA10.2021.44.5. <i>c) The plans shall incorporate sectional details, technical specifications and Council's standard drawings and specifications. Cross-sectional views of the proposed works shall be provided at every 5m interval and at every critical feature such as service pits or level transitions. Cross sections must extend from the road centreline to the property boundary and include chainage, pit and pipe invert levels, existing and proposed surface levels, and infrastructure interfaces. Proposed works must comply with Council's Standard Drawings from BSD 01 to BSD 14, revision E.</i>
42.	Inclusion of all existing service authority assets (electricity, water, sewer, gas, telecoms, lighting, etc.), based on a current survey	<i>d) The plans shall include all existing service authority assets along street frontages and in surrounding areas as per the site survey. This includes, but is not limited to, high and low voltage electricity, water, stormwater, sewer, gas, telecommunications, street lighting and drainage assets.</i> <i>e) The plans shall show the full extent of public domain improvement works across street frontages, including but not limited to: footpath paving, kerb and gutter, pram ramps, bollards, service pits, stormwater infrastructure, and mill and re-sheeting of the adjoining road pavement.</i>
43.	Plans must show full street frontages and features including paving, kerbs, pram ramps, bollards, service pits, stormwater	<i>f) The applicant shall liaise with all relevant service authorities to ensure compliance with all applicable requirements for the protection, relocation, or termination of existing assets prior to construction. Written consent must be obtained for any works that may impact service authority assets.</i>

	infrastructure, and road resurfacing.	
44.	The applicant must liaise with all service authorities and obtain written approvals where assets are to be affected.	
Additional requirements:		
45.	Council-standard town centre pavers must be used between property boundaries and kerb. The integration with internal pavers must be clearly shown.	The Landscape Plans prepared by Studio Place Group (Appendix 2) have been updated to include details of the pavers (refer to below extract). The pavers comply with the approved DA and generally complies with Urban Landscape Burwood Town Centre Plan (Dark Grey unit pavers with Light Grey accent Paver). Should additional details or changes to the material be required, this can be managed via condition 141, which requires the preparation of detail public domain plans.  600x400x60MM BLUESTONE UNIT PAVER, FINISH: SAWN, COLOUR: NATURAL, LAID TO PATTERN SHOWN 1 PAVING TYPE 1 - PLAN 1:20
Figure 13 Paver design (Source: Place Design Group)		
46.	Sediment control plan with appropriate notes must be included.	The requirement for sediment and erosion control is already addressed through the original development consent. A Soil and Sediment Control Plan was approved as part of the original DA, and Condition 45 requires the preparation of an Environmental Management Plan that includes erosion control measures. In addition, Condition 129 specifically requires the submission of an Erosion and Sediment Control Plan. These existing conditions remain (refer to below extracts) applicable and will be complied with at the appropriate stage. As such, no changes are proposed under this modification, and the requirement for sediment control has already been appropriately addressed. 45. An Environmental Management Plan is to be submitted for the approval of the Manager City Development, prior to the issue of the relevant Construction Certificate, detailing the control and management methods to be implemented in addressing the following issues during the demolition, excavation and construction phases of the project: a. Noise and

		vibration control; b. Dust and odour suppression and control; c. Storm water control and discharge; d. Erosion control; e. Waste storage and recycling control; f. Litter control g. Construction material storage; h. Truck cleaning methods on site so as to prevent spread of soil and like materials onto Council's roadways; and i. Community Information program, communication procedures and feedback hotline. 129. Temporary measures shall be provided prior to the commencement of any demolition, excavation or construction works on the site to prevent sediment and polluted waters discharging from the site. In this regard an Erosion and Sediment Control Plan (ESCP) is to be prepared by a competent practicing hydraulic/civil engineer in accordance with the publication "Managing Urban Stormwater: Soils & Construction" (Landcom, 2004) and Supplement 10 of Council's Stormwater Management Code
47.	Long sections of driveways must be detailed with dimensions and annotations.	The driveways are consistent with the DA in terms of location and function, however there has been development in terms of RLs following further civil input. RLs and ramp sections were not included in the original Development Application. These elements can be addressed via a condition of consent as part of the Construction Certificate stage. Example wording of a condition has been provided below: <i>"Prior to the issue of a Construction Certificate, the Applicant must submit detailed driveway ramp documentation, including RLs, gradients, and longitudinal sections, to the satisfaction of the Certifying Authority. The ramp design must align with the approved driveway layout and comply with the relevant Australian Standards."</i>
48.	Further information is required on proposed plants, nature strips, and street trees.	Detailed Landscape Plans have been prepared by Place Design Group at Appendix 2, which shows the species of the proposed plantings. These additional plans and details are provided to support Council's understanding and satisfaction with the proposed amendments, noting that further construction certificate documentation will be submitted in accordance with the relevant conditions of consent. Should it be required, further detail can be provided through Condition 39 (refer to below extract) of the development consent, which requires the preparation and submission of detailed landscape plans, including the specification of plant species. <i>"39. Detailed landscape plans, drawn to scale, by a landscape architect, must be submitted to and approved by the Accredited Certifier prior to the issue of</i> <i>a Construction Certificate for the above ground works. The plans must include:</i> <i>a. Location of proposed structures on the site including existing trees;</i> <i>b. Details of planting on slab, earthworks including mounding and retaining walls and planter boxes (if applicable);</i> <i>c. Details of soil depths and specification for landscape soil;</i> <i>d. Details of proposed tree pits/bases, including grates;</i> <i>e. Location, numbers and type of plant species, having regard to wind conditions and shade effects;</i> <i>f. Details of planting procedure and maintenance;</i> <i>g. Details of drainage and watering systems; and</i> <i>h. Details of balustrades and wind protection measures (where applicable)."</i>
49.	Street furniture (e.g. bins, seating) must be detailed.	Street furniture items have been detailed in the updated Landscape Plans prepared by Place Design Group (Appendix 2), including bins, benches, bike racks, bollards, and communal seating, as illustrated in the below extract images and typical design drawings. Specific products include the Quatro Design integrated timber bench (T4SLR), Linea

powdercoated bench, Jack & Jill picnic setting, Frog GRC lounge seat, standard stainless steel bike racks, and bin enclosures (EMDZ-240), among others. These are supported by dimensioned elevations and material specifications, with further street furniture types also identified on the landscape plans.

The location of the street furniture is shown on the Amenity Place – refer to extract at Figure 16.

Should additional detail be required, we are happy for this to be addressed via a condition of consent with example wording provided below.

“Prior to the issue of the relevant Construction Certificate, detailed plans and specifications for all proposed street furniture, including but not limited to seating, bins, and bicycle racks, must be submitted to and approved by the Certifying Authority and Council. The plans must identify the type, location, materials, and finishes of all furniture items and demonstrate consistency with Council’s public domain guidelines. All street furniture must be installed in accordance with the approved plans prior to the issue of the relevant Occupation Certificate.”

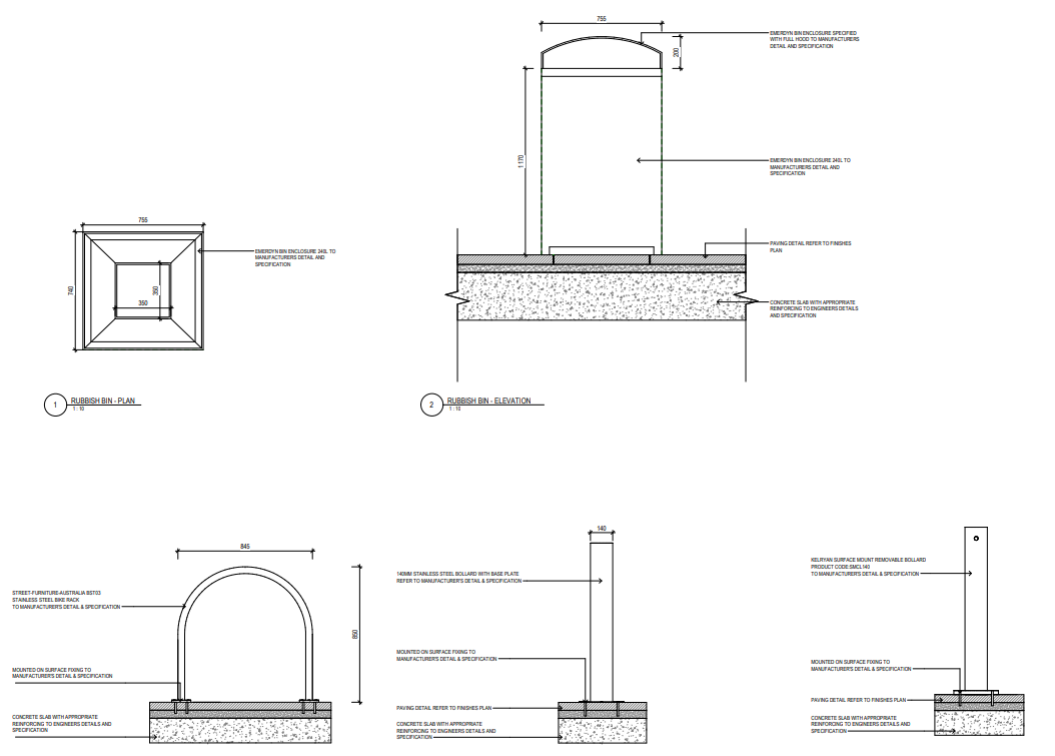


Figure 14 Street furniture details (Source: Place Design Group)

BK	BIKE RACK	Description: Standard Bike Rack - Semi Hoop Material: Stainless Steel Marine Grade 316 Finish: Surface Fixed Finish: Brushed W: 120mm H: 850mm L: 845mm	
P1	OUTDOOR BENCH TYPE 1	Product: Uno Bench Material: Frame Powdercoated, Batten aluminium powdercoated Dimensions: 480W x 430H x various lengths (mm)	
P2	OUTDOOR BENCH TYPE 2	Product: Quatro Design integrated timber bench Product Code: 140LR Material: Spotted Gum Dimensions: Various	
P4	LOUNGE SEAT TYPE 4	Product: Tray (SRC PLANTER) Finish: White Dimensions: Various	
P5	PICNIC SETTING TYPE 5	Product: Juk & Jill Material: Powdercoated Steel Colour: Rustic Textured	
P6	OUTDOOR BENCH TYPE 6	Product: Aria Long Communal Table Material: FRAME - Powder coated steel, Black SLATS - Timber composite	
B1	FIXED BOLLARDS	140mm Stainless Steel Bollards - Surface mounted Size: 140mm Bollard - 140(D) x 1300(H)mm, 22kg	
B2	REMOVABLE BOLLARDS	Product: Surface Mount Removable Bollards Product Code: SMCL90-SS Sizes: Cam-Lok 90mmD Surface Mount Removable Bollard 900mmH - 316 SS	
BIN	BIN	Product: Emerdyn Bin Enclosure - EM224 240L FH full hood Size: 240L	
WF	WATER FEATURE	Product: Water Jets Refer to manufactures specifications	

Figure 15 Furniture Details (Source: Place Design Group)

AMENITY PLAN | PUBLIC DOMAIN

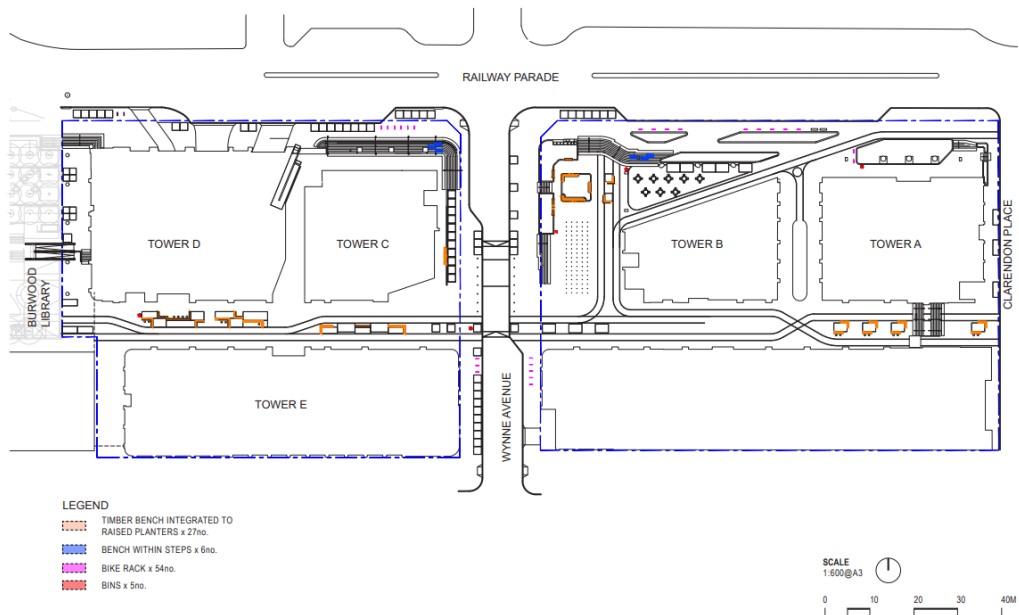


Figure 16 Amenity Plan (Source: Place Design Group)

50. Any unique structures must be clearly documented with explanatory notes.
- The request for documentation of unique structures is noted; however, the requirement is quite broad. At this stage, all relevant elements proposed under the modification have been documented to the extent possible. Should Council have specific elements they believe require further clarification, we are willing to provide additional detail or explanatory notes as needed.

If you require any further information or clarification, please feel free to contact the undersigned on (02) 9071 1842. We look forward to working with Council and the State Planning Panel to progress this application.

Yours sincerely

Anthony Kazacos
Associate Director